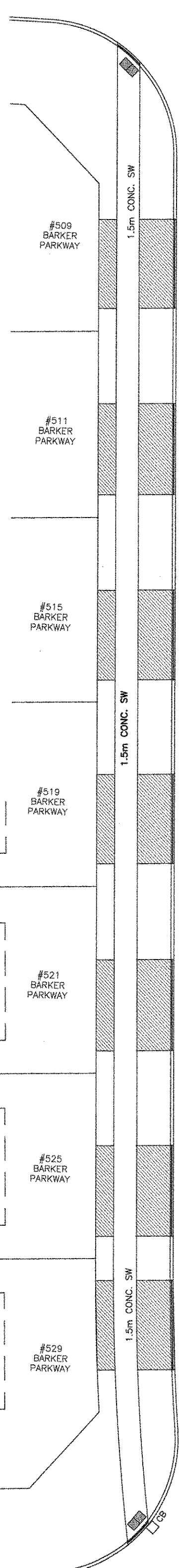
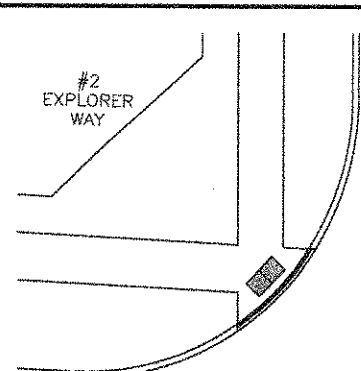


UNIT #	USE AREA	AREA
1	UNIT AREA	174.11m ²
	EXCLUSIVE USE AREA - DRIVEWAY	11.34m ²
2	UNIT AREA	133.29m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
3	UNIT AREA	133.29m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
4	UNIT AREA	133.29m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
5	UNIT AREA	162.87m ²
	EXCLUSIVE USE AREA - DRIVEWAY	11.08m ²
6	UNIT AREA	164.52m ²
	EXCLUSIVE USE AREA - DRIVEWAY	15.01m ²
7	UNIT AREA	133.73m ²
	EXCLUSIVE USE AREA - DRIVEWAY	11.83m ²
8	UNIT AREA	133.73m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
9	UNIT AREA	133.73m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
10	UNIT AREA	133.73m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
11	UNIT AREA	164.54m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
12	UNIT AREA	164.54m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
13	UNIT AREA	133.73m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
14	UNIT AREA	133.73m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
15	UNIT AREA	133.73m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
16	UNIT AREA	164.54m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
17	UNIT AREA	175.13m ²
	EXCLUSIVE USE AREA - DRIVEWAY	11.34m ²
18	UNIT AREA	133.14m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
19	UNIT AREA	163.80m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
20	UNIT AREA	163.80m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
21	UNIT AREA	133.14m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
22	UNIT AREA	133.14m ²
	EXCLUSIVE USE AREA - DRIVEWAY	10.08m ²
23	UNIT AREA	181.66m ²
	EXCLUSIVE USE AREA - DRIVEWAY	11.34m ²
TOTAL UNIT AREA		3414.91m ²
EXCLUSIVE USE AREA - DRIVEWAY		243.30m ²
COMMON ELEMENT		3509.08m ²
TOTAL AREA		7167.29m ²

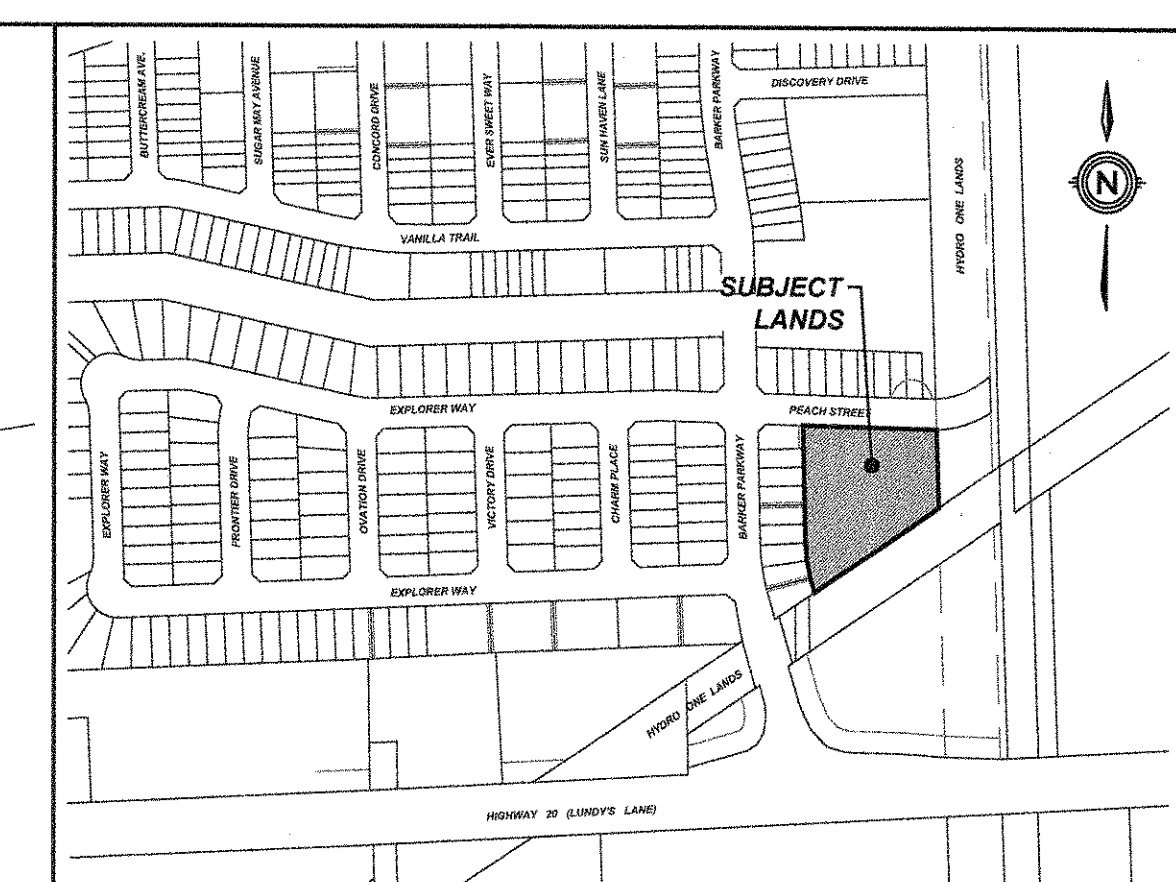
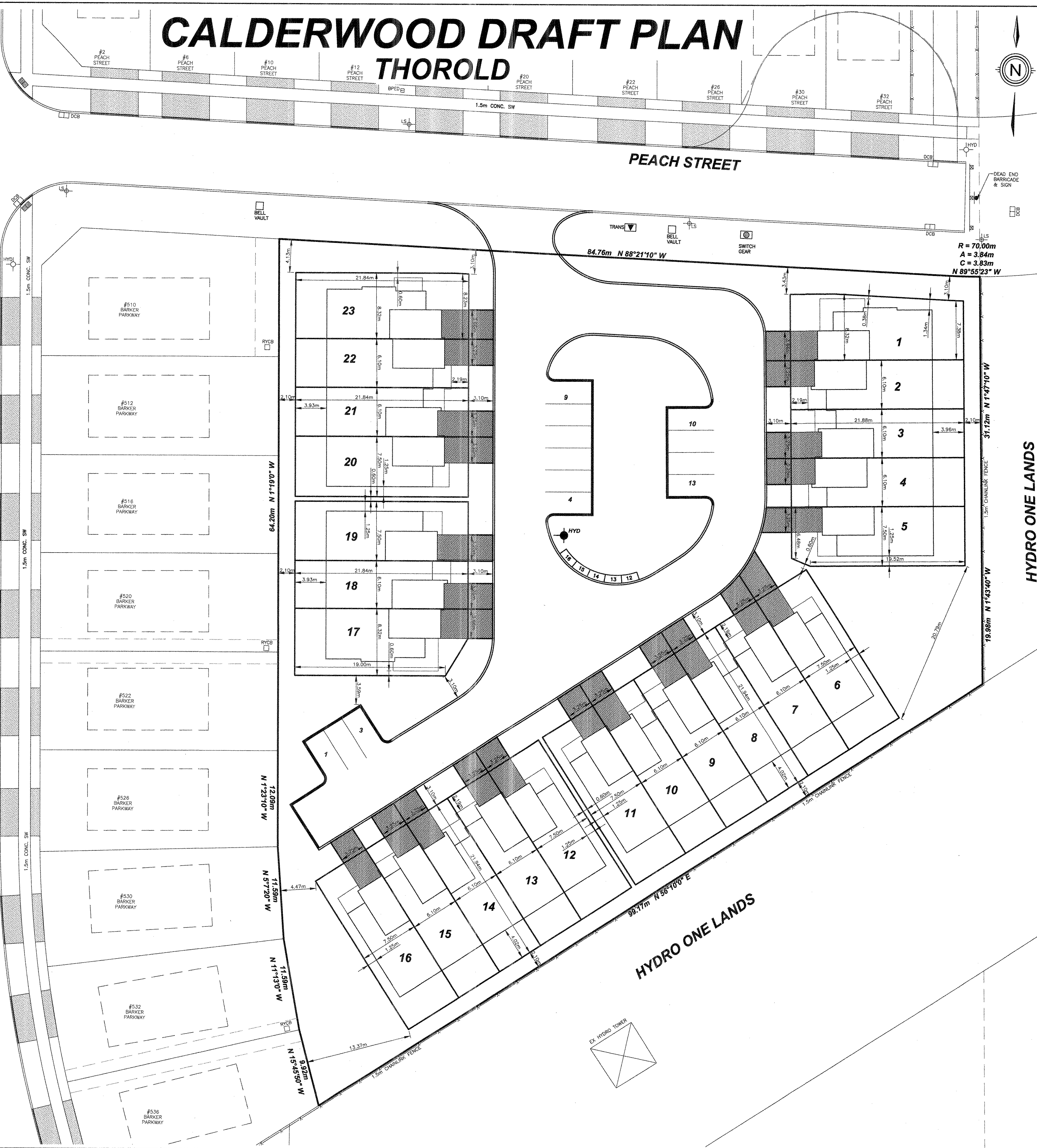


EXPLORER WAY

BARKER PARKWAY

CALDERWOOD DRAFT PLAN

THOROLD



KEY PLAN

N.T.S.

DRAFT PLAN OF VACANT LAND CONDOMINIUM

LEGAL DESCRIPTION

BLOCK 155 PLAN 59M-479
PART OF LOTS 91 AND 92
ORIGINAL TOWNSHIP OF THOROLD
NOW IN THE CITY OF THOROLD
REGIONAL MUNICIPALITY OF NIAGARA

OWNER'S CERTIFICATE

BEING THE REGISTERED OWNER, I HEREBY AUTHORIZE UPPER CANADA CONSULTANTS TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE CITY OF NIAGARA FALLS FOR APPROVAL.

[Signature] June 23/21
ECRM LUNDY'S HOMES LTD. DATE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED ARE CORRECTLY SHOWN

[Signature] June 18, 2021
J.D. BARNES LTD. - ALLAN HEWOOD O.L.S. DATE
21-16-186

REQUIREMENTS OF SECTION 51(17) OF THE PLANNING ACT

- | | | |
|-------------|--------------------|-----------------|
| a) SEE PLAN | e) SEE PLAN | i) SILTY SAND |
| b) SEE PLAN | f) SEE PLAN | j) SEE PLAN |
| c) SEE PLAN | g) SEE PLAN | k) FULL SERVICE |
| d) SEE PLAN | h) MUNICIPAL WATER | l) SEE PLAN |

LAND USE SCHEDULE

	Ha	%
BUILDING	0.211	29.43
DRIVEWAY/PARKING	0.186	25.94
LANDSCAPING	0.320	44.63
TOTAL	0.717	100.0
UNITS	23	
DENSITY	32.078u/Ha	

#	ISSUED FOR APPROVAL	REVISION	DATE	INIT
0				



UPPER CANADA CONSULTANTS
ENGINEERS / PLANNERS
30 Hannover Drive Unit 3
St. Catharines, Ontario
L2M 1A5
Phone: (905) 688-9400
Fax: (905) 688-5274

DRAWING TITLE	DRAFT PLAN CALDERWOOD	DRAFTING	BY
DATE	JUNE 8, 2021	PRINTED	JUNE 18, 2021
SCALE	1:250	DWG No.	2174-DP
REV	0		