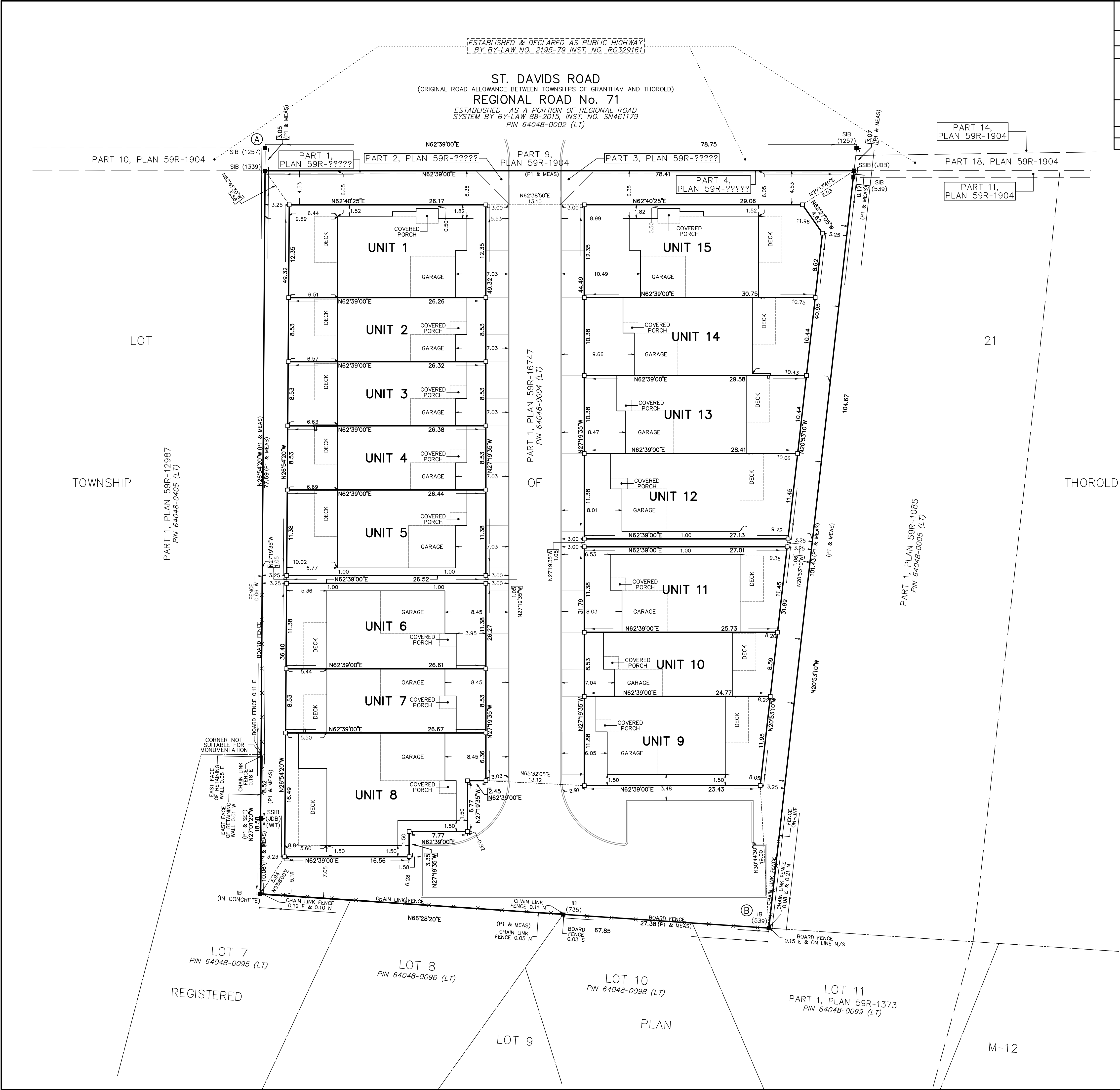




PART 1 OF 4 PARTS

SHEET 1 OF 1 SHEET

INDEX OF PARTS

PART	SHEET(S)	DESCRIPTION
1	1	PLAN OF SURVEY OF THE CONDOMINIUM PROPERTY, THE ILLUSTRATION OF THE APPURTENANT AND SERVIENT INTERESTS AND THE DESIGNATION OF UNITS ON LEVEL 1
2	1	PLAN OF SURVEY OF THE EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENTS ON LEVEL 1
3	NIL	ARCHITECTURAL PLANS
4	NIL	STRUCTURAL PLANS

NIAGARA SOUTH VACANT LAND CONDOMINIUM PLAN No. _____

LEVEL 1 UNITS 1 TO 15, INCLUSIVE

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF NIAGARA SOUTH (No. 59) AT _____O'CLOCK ON THE _____DAY OF _____, 2022.

REPRESENTATIVE FOR LAND REGISTRAR

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON _____

DATE

ALLAN J. HEYWOOD
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-39497

DECLARATION REGISTERED AS No. _____

THIS CONDOMINIUM IS COMPRISED OF ALL OF PIN PIN 64048-0004 (LT)

SCHEDULE OF APPURTENANT AND SERVIENT INTERESTS (Pursuant to Clauses 157 (1) (d) And (e) of the Condominium Act 1998)

	PARTS	PLAN	DESCRIBED IN	NOTES
TOGETHER WITH (APPURTENANT INTERESTS)	NONE	NONE	NONE	NONE
SUBJECT TO (SERVIENT INTERESTS)	NONE	NONE	NONE	NONE

PLAN OF SURVEY OF
PART OF LOT 21
GEOGRAPHIC TOWNSHIP OF THOROLD
NOW IN THE
CITY OF THOROLD
REGIONAL MUNICIPALITY OF NIAGARA
SCALE 1 : 250

J.D. BARNES LIMITED

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0)

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999836

INTEGRATION DATA

OBSERVED REFERENCE POINTS (ORPs): UTM ZONE 17, NAD83 (CSRS) (2010.0).

COORDINATES TO AN URBAN ACCURACY PER SECTION 14 (2) OF O.REG. 216/10.

POINT ID	EASTING	NORTHING
ORP (A)	644 709.05	4 776 224.76
ORP (B)	644 816.25	4 776 163.29

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

THE RESULTANT TIE BETWEEN ORP (A) AND ORP (B) IS 123.59 (GROUND), N60°10'05"W

LEGEND

■ DENOTES SURVEY MONUMENT FOUND

□ DENOTES SURVEY MONUMENT SET

IB DENOTES IRON BAR

SIB DENOTES STANDARD IRON BAR

SSIB DENOTES SHORT STANDARD IRON BAR

WT DENOTES WITNESS

MS DENOTES MEASURED

JDB DENOTES J.D. BARNES LIMITED

539 DENOTES D.G. URE, O.L.S.

735 DENOTES K.T. HOWE, O.L.S.

1257 DENOTES R. LAROCQUE, O.L.S.

1339 DENOTES W.A. MASCOE, O.L.S.

P1 DENOTES PLAN 59R-16747

P1 DENOTES BOUNDARIES OF THE UNITS AND THE COMMON ELEMENTS

→ DENOTES FENCE

N=NORTH / S=SOUTH / E=EAST / W=WEST

ALL SET SSIB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

SURVEY MONUMENTS PLANTED ARE IRON BARS UNLESS OTHERWISE NOTED.

CERTIFICATE OF DECLARANT

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH MY INSTRUCTIONS.

DECLARANT: ANTHONY DIFRUSCIA

DATE

AUTHORIZED SIGNATURE
(I HAVE THE AUTHORITY TO BIND THE CORPORATION)
ANTHONY DIFRUSCIA

MUNICIPAL APPROVAL

PARTS 1 AND 2 ARE APPROVED UNDER SECTION 9 OF THE CONDOMINIUM ACT AND SECTION 51 OF THE PLANNING ACT.

THIS _____ DAY OF _____, 2022.

AUTHORIZED SIGNATURE
CITY OF THOROLD

J.D. BARNES LIMITED
LAND INFORMATION SPECIALISTS
4318 PORTAGE ROAD - UNIT 2, NIAGARA FALLS, ON L2E 6A4
T: (905) 358-3693 F: (905) 358-6224 www.jdbarnes.com

DRAWN BY: JN

CHECKED BY: *

REFERENCE NO.: 18-16-046-00

FILE: G:\2018\18-16-046\00\Drawing\18-16-046-00-VLC.dgn

PLOTTED: 11/29/2022